



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

Notice of Decision

Site Plan Review and Tentative Replat

SP-32-21 and RL-08-21

April 15, 2022

Application Information

Proposal:	Replat to consolidate Lots Seven and Eight of Block 23 of the City of Albany Plat; Site Plan Review to construct two (2) three-story, mixed-use buildings with commercial on the ground floor and apartments above with associated site improvements. This site was previously approved for Historic Review of New Construction (file HI-04-20).
Review Body:	Staff (Type I-L Review)
Property Owner:	Mark and Tina Siegner; 516 Kouns Drive NW, Albany, OR 97321
Applicant:	William Ryals; 935 Jones Avenue NW, Albany, OR 97321
Address/Location:	525 Fourth Avenue SW (also known as 533 Fourth Avenue SW; 331 Calapooia Street SW), Albany, OR 97321
Map/Tax Lot:	Linn County Assessor's Map No. 11S-04W-12AA; Tax Lot 700
Lot Size:	10,632 square feet
Zoning:	Downtown Mixed Use (DMU) Zone District
Comp. Plan Designation:	Village Center
Overlay:	Historic Overlay District (/HD); Monteith National Register Historic District
Existing Land Use:	Vacant

On April 15, 2022, the City of Albany Community Development Director granted **APPROVAL WITH CONDITIONS** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC). The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. Conditions of approval are attached to this notice. For more information, please contact David Martineau, project planner, at 541-917-7555 or by email at david.martineau@cityofalbany.net.

Appeals may be made to the Planning Commission if a person with standing files a notice to appeal in accordance with ADC 1.410 with the associated filing fee no later than **10 days** from the date the City mails the notice of decision. The City Council has the discretion to choose to hear any appeal which would otherwise go to the Landmarks Commission or Planning Commission. The decision becomes final when the period for filing a local appeal has expired.

signature on file

Community Development Director

Appeal Deadline: 5:00 p.m. on April 25, 2022

Approval Expiration Date (if not appealed): April 15, 2025

cd.cityofalbany.net



Conditions of Approval

- Condition 1** Detailed window information such as functionality (fixed/operable), grid type (between the glass, exterior, or simulated divided lites), and obscuring (textured/frosted/etc.) meeting the standards of ADC 8.255(3)(a) – (c) must be submitted to the Planning Division prior to issuance of a building permit.
- Condition 2** Prior to issuance of a building permit, the applicant shall provide details of the lighting plan and all proposed exterior light fixtures and their conformance with ADC 8.390 and ADC 9.120(14). Prior to certificate of occupancy, conforming light fixtures shall be installed.
- Condition 3** A detail showing the method(s) of screening HVAC equipment must be submitted prior to the issuance of a building permit.
- Condition 4** At least one-half of required bicycle parking must be sheltered by a roof overhang or a separate roof at least seven feet tall in accordance with standards in ADC Section 9.130(13).
- Condition 5** If the proposed bicycle parking shelters are over 100 square feet in size, it will require Historic Review per ADC 7.230 prior to issuance of a building permit.
- Condition 6** Prior to issuance of a building permit, the applicant shall submit a final landscaping plan showing details of the size and type of trees, plants, and ground cover to be installed in compliance with ADC 9.140(2). Prior to issuance of a certificate of occupancy, the landscaping shall be installed on site.
- Condition 7** Prior to issuance of a building permit, an irrigation plan shall be provided to the City or a letter from a qualified landscape professional stating that irrigation is not required.
- Condition 8** Prior to issuance of an occupancy permit, the applicant shall replace the existing sidewalk along the site's street frontages as shown on the approved site plan.

The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Albany Development Code (ADC) regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Building Division

1. Building permits are required for the work proposed within this land use case and will be reviewed for compliance with the applicable Oregon Building Code under those required application(s). (AMC 18.06.010)
2. The proposed structures will need to meet the fire separation requirements of Table 602 and the opening protection requirements of Table 705.8. The current design may exceed the allowable glazing per story on the mixed-use buildings.
3. The proposed gates along the required accessible route will need to comply with A117.1-2009 Section 404.

Comments provided by Johnathan Balkema, Building Official Manager, 541-791-0199.

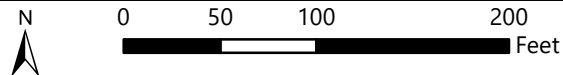
General Engineering Processes:

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

Attachments: Location Map, Site Plan



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Date: 12/20/2021 Map Source: City of Albany

525 4th Ave SW

Location / Zoning Map

SITE DRAINAGE AND TOPOLOGY NOTE

THE SITE IS BASICALLY FLAT. IT VARIES LESS THAN ONE FOOT FROM ALLEY TO STREET. ALL ELEVATIONS AT SIDEWALK, ALLEY AND ADJACENT PROPERTIES WILL REMAIN AS IS. ON SITE DRAINAGE IS ACCOMPLISHED BY WARPING PLAZA SLABS AND PARKING LOT AREA TO NEW CATCH BASINS CONNECTED TO STORM DRAIN IN ALLEY

NEW LOT COVERAGE

PARKING LOT:	1,862 SF
STRUCTURE ONE	2,244 SF
STRUCTURE TWO	2,244 SF
SIDEWALKS/COURTYARDS	2,583 SF
LOT COVERAGE:	8,933 SF

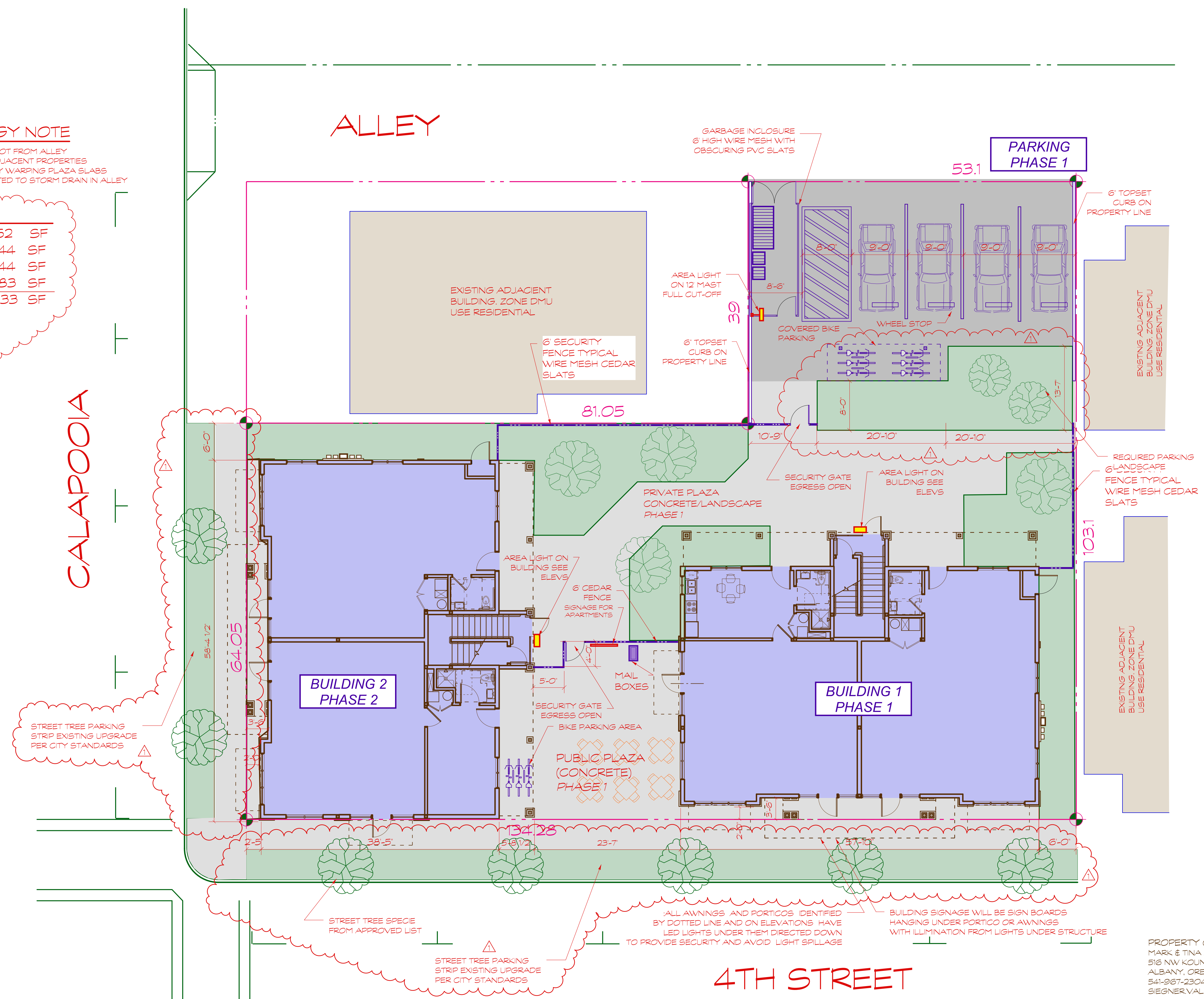


LOT RATIO 8,933/10,632 = .84

CALAPOOIA

ALLEY

4TH STREET



1
 AO.1
SITE PLAN
 SCALE 1/8" = 1'-0"



PROPERTY OWNER/DEVELOPER
 MARK & TINA SIEGNER
 516 NW KOUNS DRIVE
 ALBANY, OREGON 97321
 541-967-2304
 SIEGNER.VALLEYHOMESINC@GMAIL.COM